

WHEN RECORDED, MAIL TO:
Gemini Development Corporation
1868 State Avenue NE
Olympia, WA 98506

*Approved:
DOB 5-17-93*

THURSTON COUNTY
OLYMPIA, WA
05/29/93 10:44 AM
REQUEST OF: TTIC
Sam S. Reed: AUDITOR
BY: MIKE: DEPUTY
123.00 12300V

SUPPLEMENTARY DECLARATION OF COVENANTS, CONDITIONS & RESTRICTIONS

THIS SUPPLEMENTARY DECLARATION, executed this 28th day of May, 1993, by Gemini Development Corporation, a Washington corporation, (hereinafter referred to as "Declarant"),

WITNESSETH:

WHEREAS, Declarant is the owner of certain property (hereinafter referred to as the "Annexed Property") in the County of Thurston, State of Washington, described as:

Parcel A of Boundary Line Adjustment Map No. BLA-6242
recorded March 26, 1993 under Auditor's File No. 9303260207,
records of Thurston County, Washington

WHEREAS, Declarant will convey the Annexed Property subject to certain protective covenants, conditions, restrictions, reservations, liens and charges as set forth in that certain Declaration of Covenants, Conditions and Restrictions which was recorded on January 29, 1993 in Volume 2048, Page 458, records of Thurston County, Washington, and any amendments thereto (hereinafter referred to as the "Declaration") specifically pursuant to the provisions of the Section entitled "Annexation By Declarant" of the Declaration.

NOW, THEREFORE, it is declared as follows:

1. All of the Annexed Property is hereby made subject to all the terms, covenants, conditions and provisions as set forth in the Declaration, and any amendments thereto, to all intents and purposes as though said land were a part of the initial Covered Property as defined in the Declaration.

2. The recordation of this Supplementary Declaration shall constitute and effectuate the annexation of the Annexed Property, making said real property subject to the Declaration and subject to the functions, powers and jurisdiction of Rainier Park P.R.D. Owners' Association, a Washington non-profit corporation, (hereinafter referred to as the "Association"), as provided in the Declaration, and thereafter said real property shall be part of the Covered Property as that term is defined in the Declaration and all of the Owners of Lots as those terms are defined in the Declaration, in the Annexed Property shall automatically be Members of the Association and Owners under the Declaration.

3. All easements reserved by Declarant in the Declaration are hereby reserved by Declarant over the Annexed Property, together with the right to grant and transfer the same as provided in the Declaration.

4. Regular Assessments shall commence as to all Lots in the Annexed Property on the first day of the month following the first conveyance of a Lot within the Annexed Property.

IN WITNESS WHEREOF, this instrument is executed as of the day and year first above written.

GEMINI DEVELOPMENT CORPORATION,
a Washington corporation.



Dennis M. Andrews, President

EXHIBITS:
Phase II Map
Site Plans

STATE OF WASHINGTON)
) ss.
COUNTY OF THURSTON)

On this 28th day of May, in the year 1993, before me, personally appeared Dennis M. Andrews, to me known to be the President of the corporation that executed the within and foregoing instrument, and acknowledged the said instrument to be the free and voluntary act and deed of said corporation, for the uses and purposes therein mentioned, and on oath state that he was authorized to execute said instrument and that the seal affixed hereto (if any) is the corporate seal of said corporation.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal the day and year first above written.

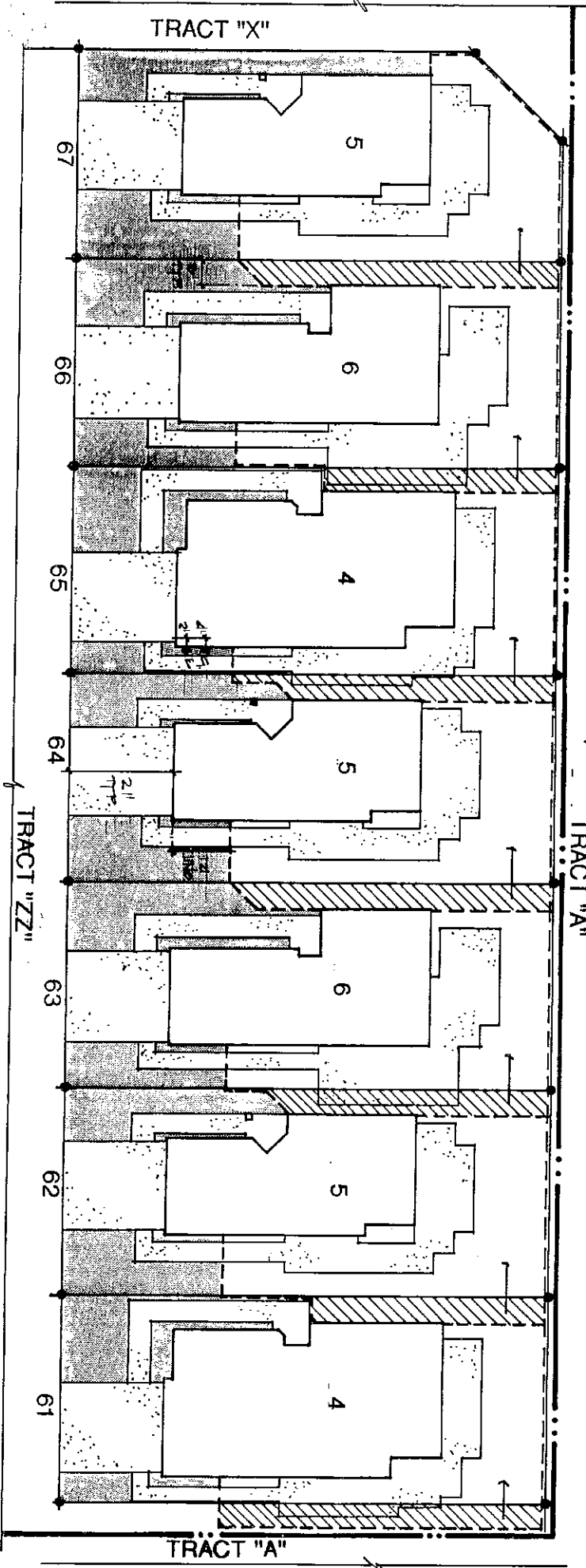
Kimberly A. Andrews
Notary Public in and for the State
of Washington, residing in Tacoma.
My Appointment expires: 5-20-94

**NOTARY SEAL
MISSING**



RAINIER PARK P.R.D. - PHASE II
Site Plan Lots 61 - 67
Scale: 1" = 20'-0"

EXHIBIT A
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| LEGEND | |
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| | Property Line |
| | Concrete |
| | 6' Cedar Fence |
| | Area To Be Maintained By Association Within The Lots |
| | Servient Tenement Over That Lot In Which It Appears In Favor Of The Adjacent Dominant Tenement Lot As Noted By Arrow |

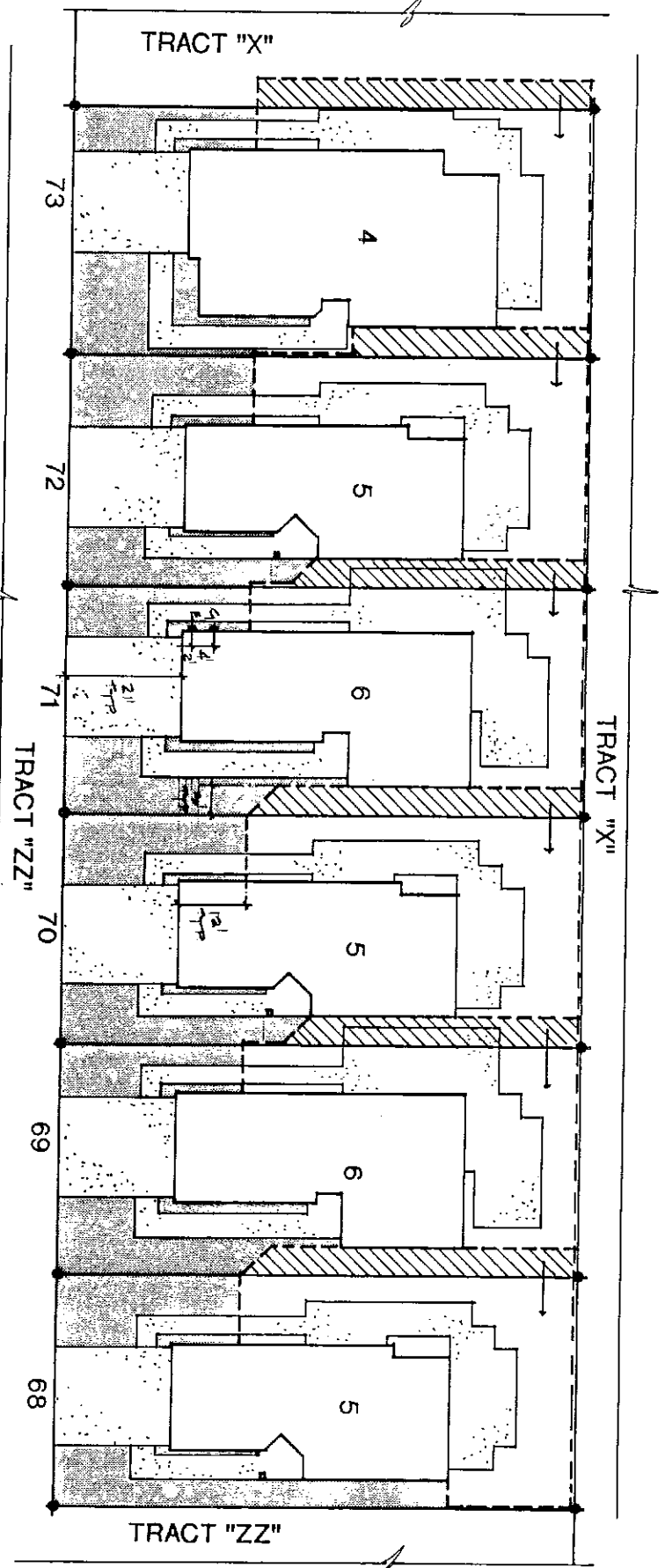
*NOTE Typical Easement To Be 5 Feet Wide

| Set # | Plan # |
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| 4 | 3140 |
| 5 | 3250 |
| 6 | 3260 |



RAINIER PARK P.R.D. - PHASE II
Site Plan Lots 68 - 73
Scale: 1" = 20'-0"

EXHIBIT A
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| | Area To Be Maintained By Association Within The Lots |
| | Servient Tenement Over That Lot In Which It Appears In Favor Of The Adjacent Dominant Tenement Lot As Noted By Arrow |

*NOTE Typical Easement To Be 5 Feet Wide

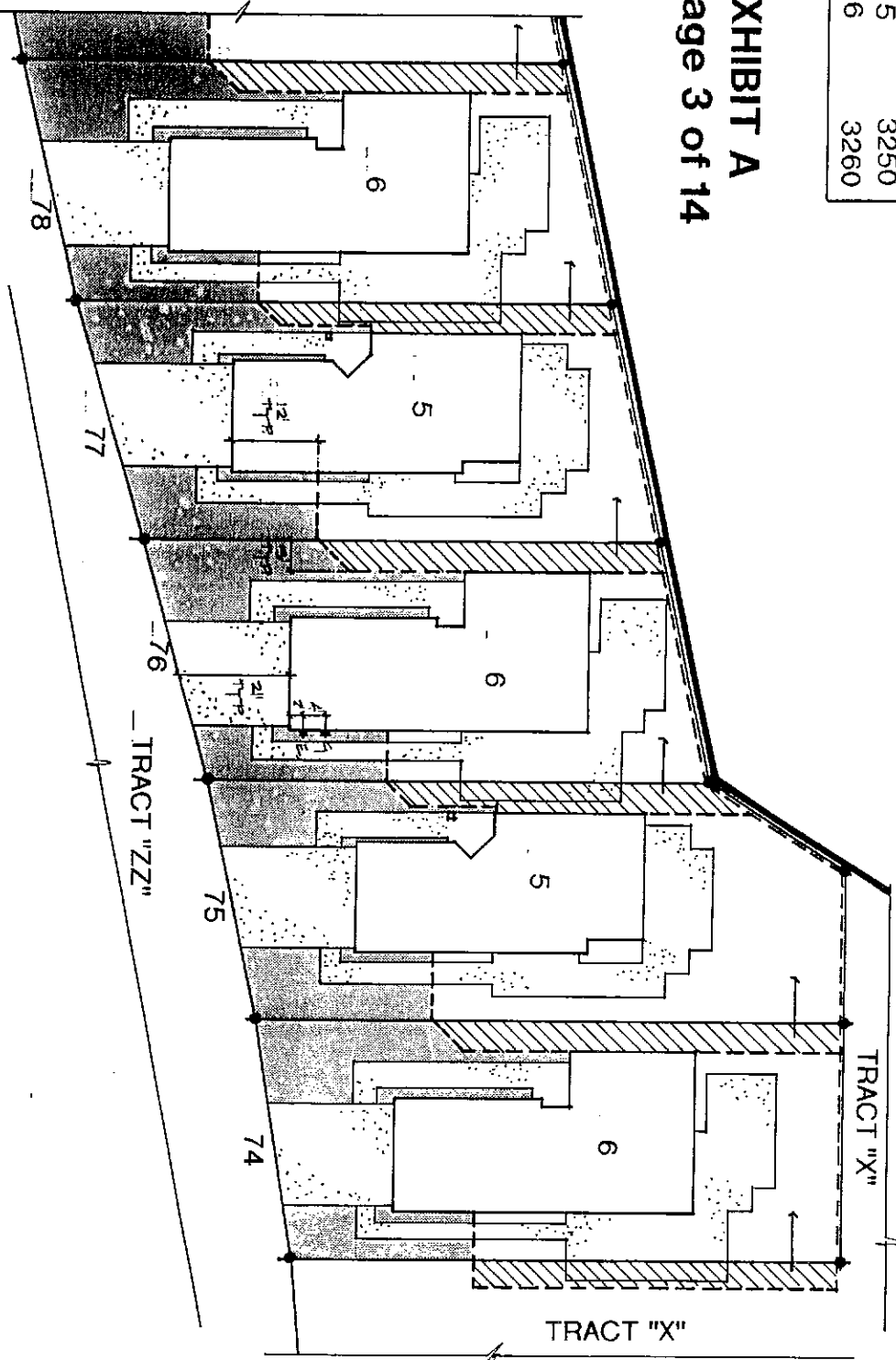
| Set # | Plan # |
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| 4 | 3140 |
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| 6 | 3260 |



RAINIER PARK P.R.D. - PHASE II
Site Plan Lots 74 - 78
Scale: 1" = 20'-0"

| Set # | Plan # |
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| 5 | 3250 |
| 6 | 3260 |

EXHIBIT A
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LEGEND

- Property Line
- Concrete
- 6' Cedar Fence
- Area To Be Maintained By Association Within The Lots
- Servient Tenement Over That Lot In Which It Appears In Favor Of The Adjacent Dominant Tenement Lot As Noted By Arrow

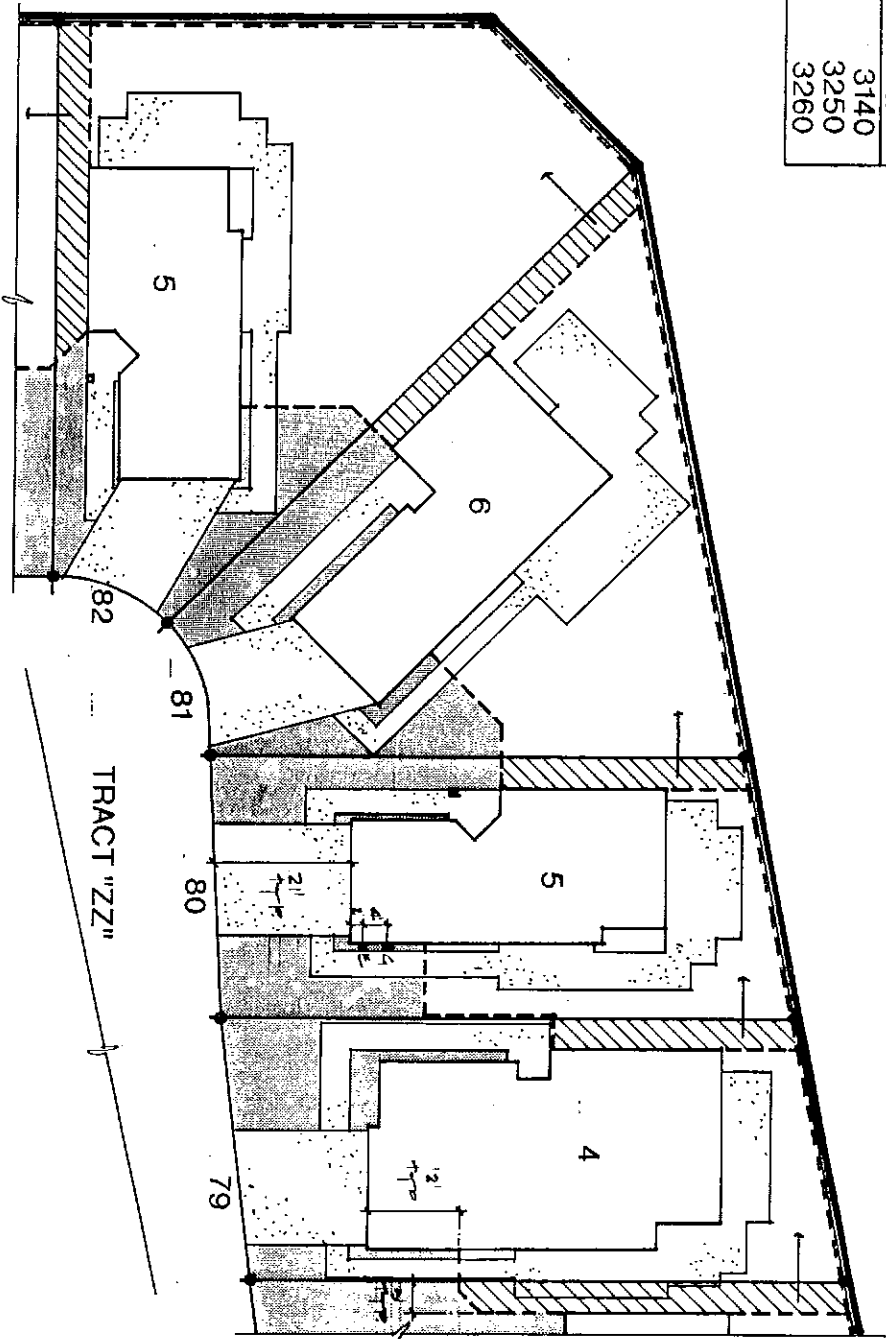
*NOTE: Typical Easement To Be 5 Feet Wide

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RAINIER PARK P.R.D. - PHASE II
Site Plan Lots 79 - 82
Scale: 1" = 20'-0"

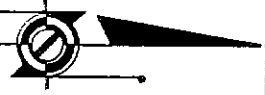
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| LEGEND | |
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| | Property Line |
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| | 6' Cedar Fence |
| | Area To Be Maintained By Association Within The Lots Servient Tenement Over That Lot In Which It Appears In Favor Of The Adjacent Dominant Tenement Lot As Noted By Arrow |

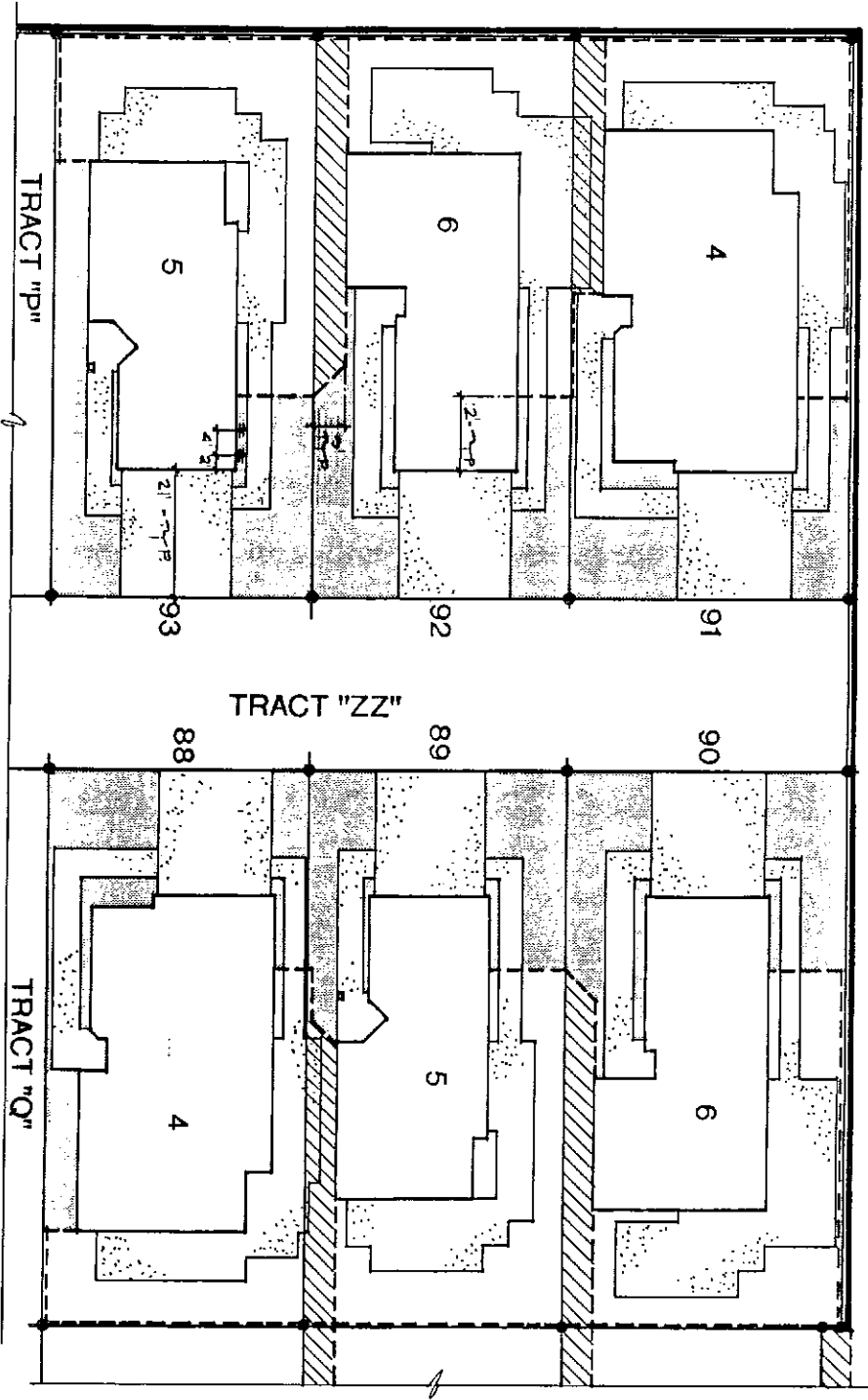
*NOTE Typical Easement To Be 5 Feet Wide

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RAINIER PARK P.R.D. - PHASE II
Site Plan Lots 88 - 93
Scale: 1" = 20'-0"

EXHIBIT A
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| LEGEND | |
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| | Property Line |
| | Concrete |
| | 6' Cedar Fence |
| | Area To Be Maintained By Association Within The Lots |
| | Servient Tenement Over That Lot In Which It Appears In Favor Of The Adjacent Dominant Tenement Lot As Noted By Arrow |

*NOTE Typical Easement To Be 5 Feet Wide

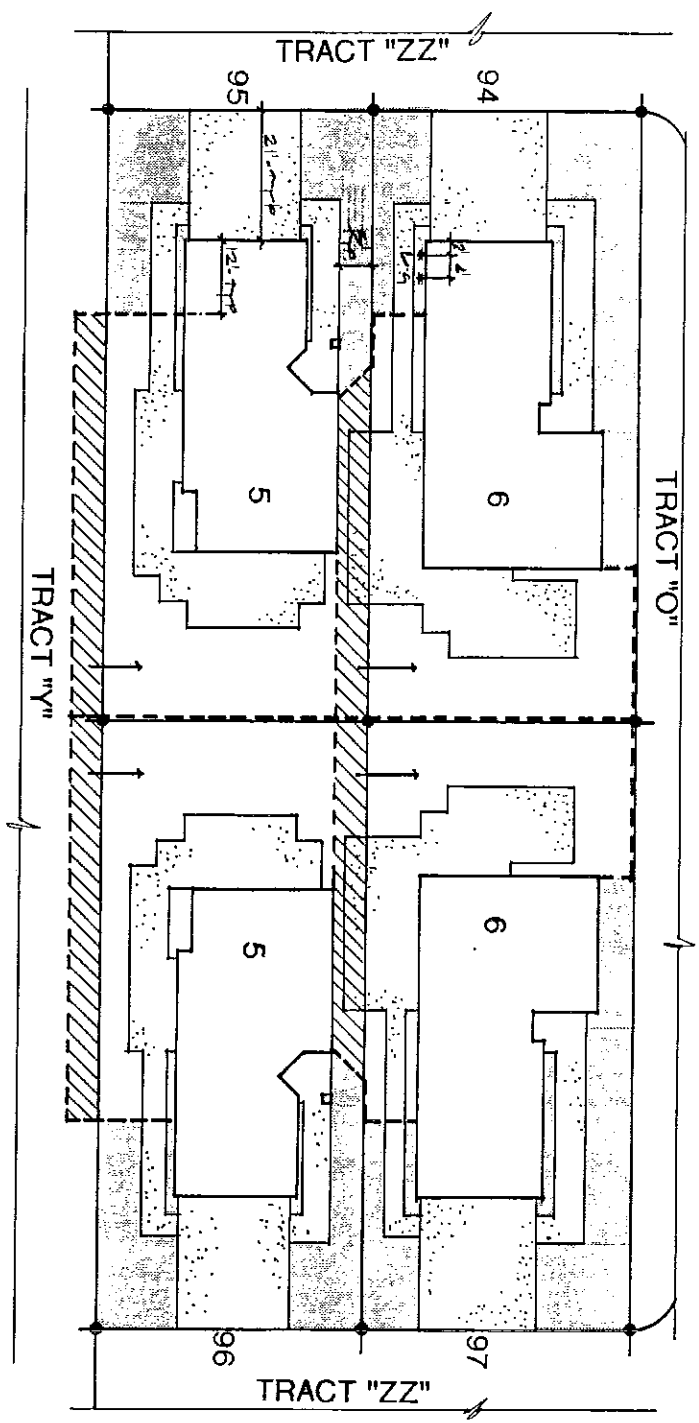
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RAINIER PARK P.R.D. - PHASE II
Site Plan Lots 94 - 97
Scale: 1" = 20'-0"

EXHIBIT A
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| LEGEND | |
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| | Property Line |
| | Concrete |
| | 6' Cedar Fence |
| | Area To Be Maintained By Association Within The Lots |
| | Servient Tenement Over That Lot In Which It Appears In Favor Of The Adjacent Dominant Tenement Lot As Noted By Arrow |

*NOTE Typical Easement To Be 5 Feet Wide

| Set # | Plan # |
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| 5 | 3250 |
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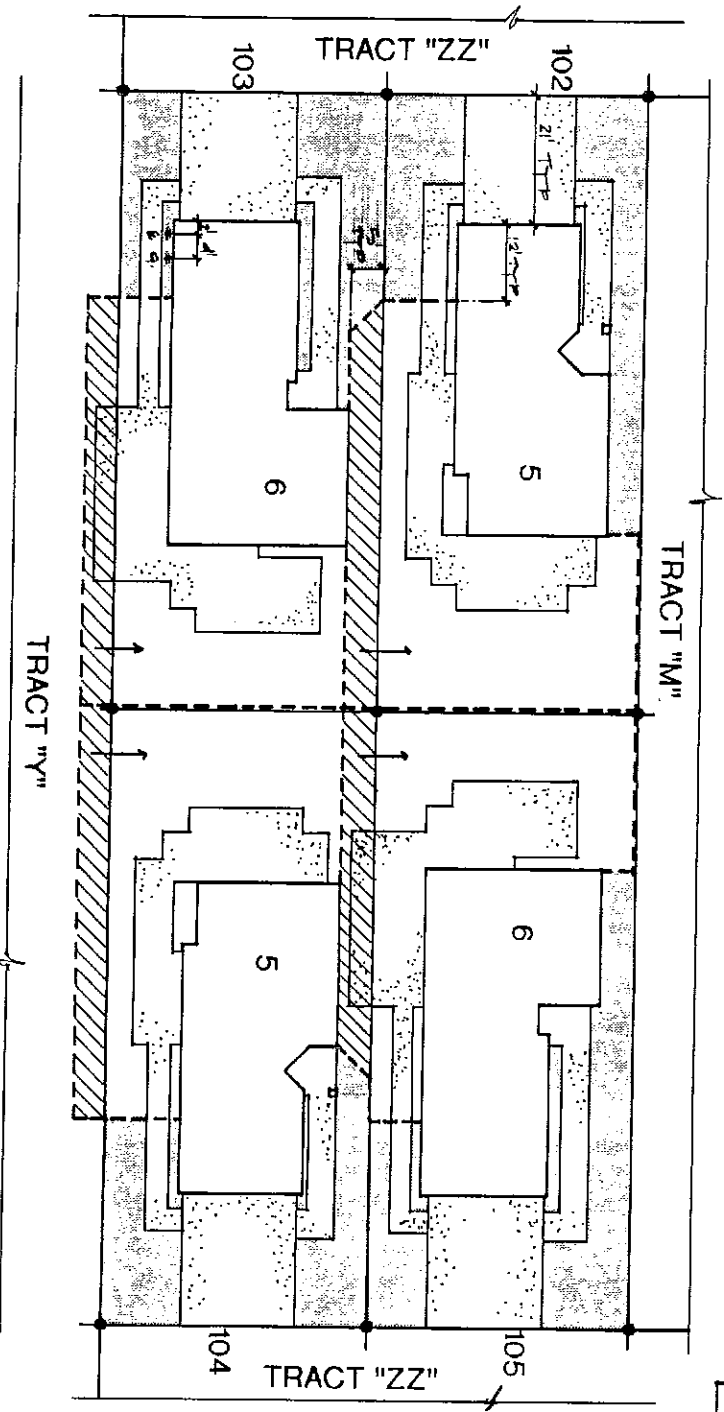


RAINIER PARK P.R.D. - PHASE II

Site Plan Lots 102 - 105

Scale: 1" = 20'-0"

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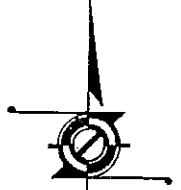
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LEGEND

- Property Line
- Concrete
- 6' Cedar Fence
- Area To Be Maintained By Association Within The Lots
- Servient Tenement Over That Lot In Which It Appears In Favor Of The Adjacent Dominant Tenement Lot As Noted By Arrow

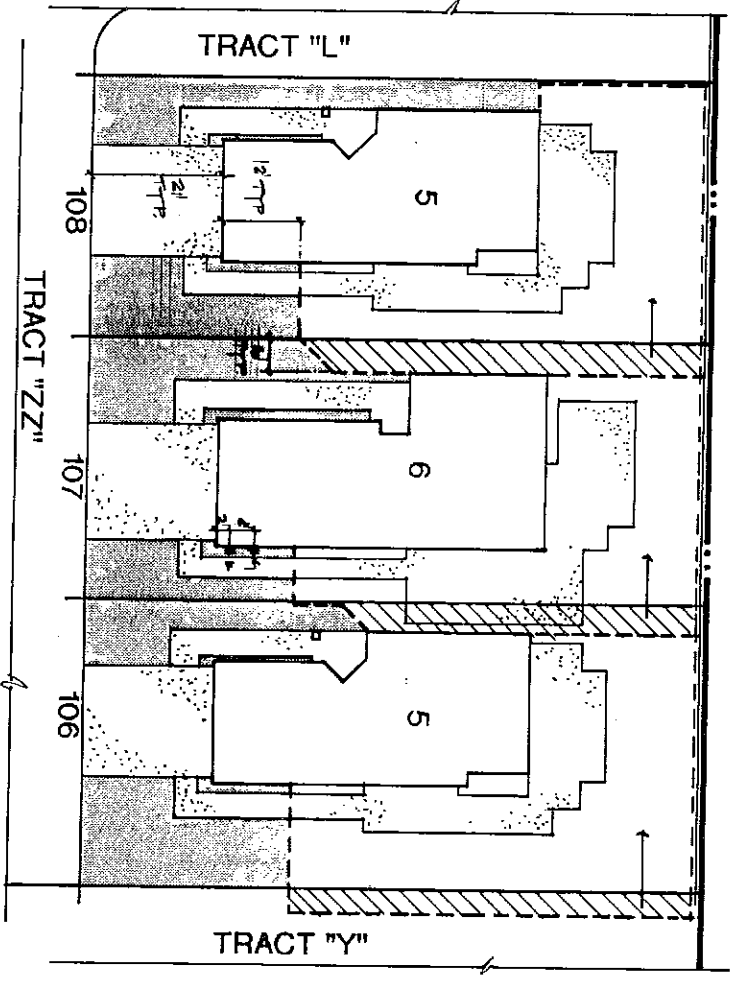
*NOTE Typical Easement To Be 5 Feet Wide

| Set # | Plan # |
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| 5 | 3250 |
| 6 | 3260 |



RAINIER PARK P.R.D. - PHASE II
Site Plan Lots 106 - 108
Scale: 1" = 20'-0"

EXHIBIT A
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| LEGEND | |
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| | Property Line |
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| | 6' Cedar Fence |
| | Area To Be Maintained By Association Within The Lots |
| | Servient Tenement Over That Lot In Which It Appears In Favor Of The Adjacent Dominant Tenement Lot As Noted By Arrow |

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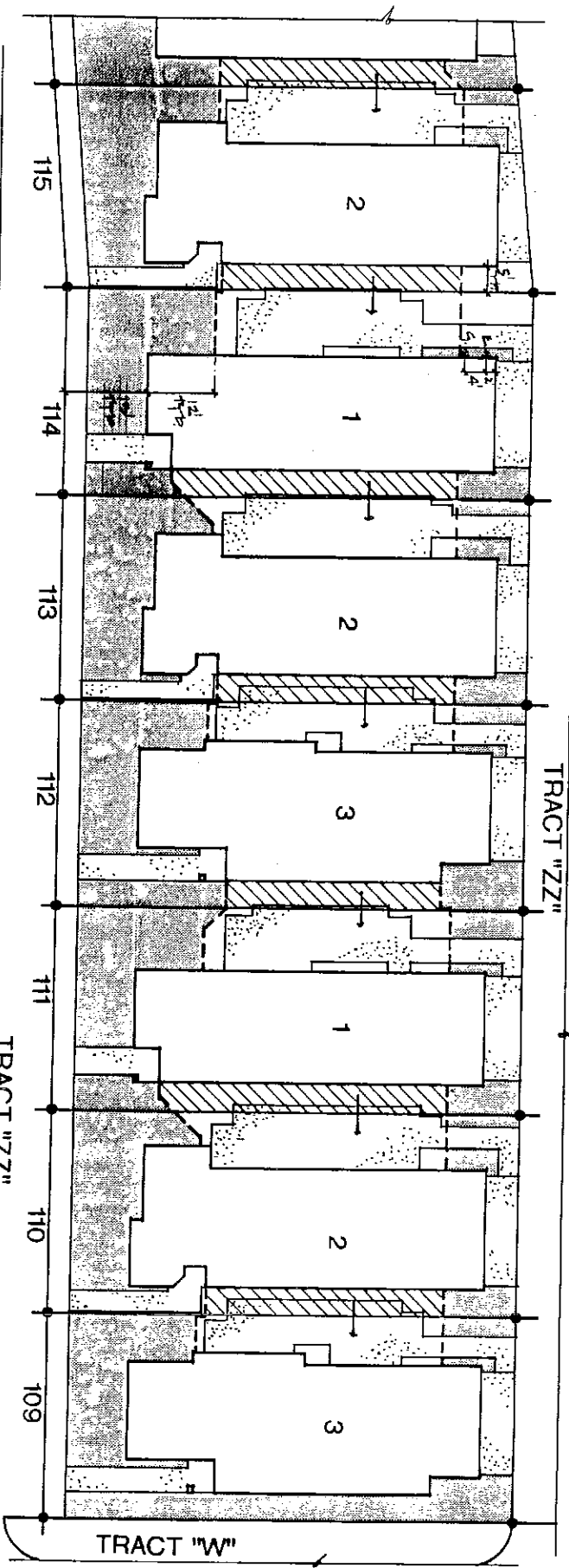
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| 5 | 3250 |
| 6 | 3260 |

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RAINIER PARK P.R.D. - PHASE II
Site Plan Lots 109 - 115
Scale: 1" = 20'-0"

EXHIBIT A
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LEGEND

- Property Line
- Concrete
- 6' Cedar Fence
- Area To Be Maintained By Association Within The Lots
- Servient Tenement Over That Lot In Which It Appears In Favor Of The Adjacent Dominant Tenement Lot As Noted By Arrow

*NOTE Typical Easement To Be 5 Feet Wide

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RAINIER PARK P.R.D. - PHASE II

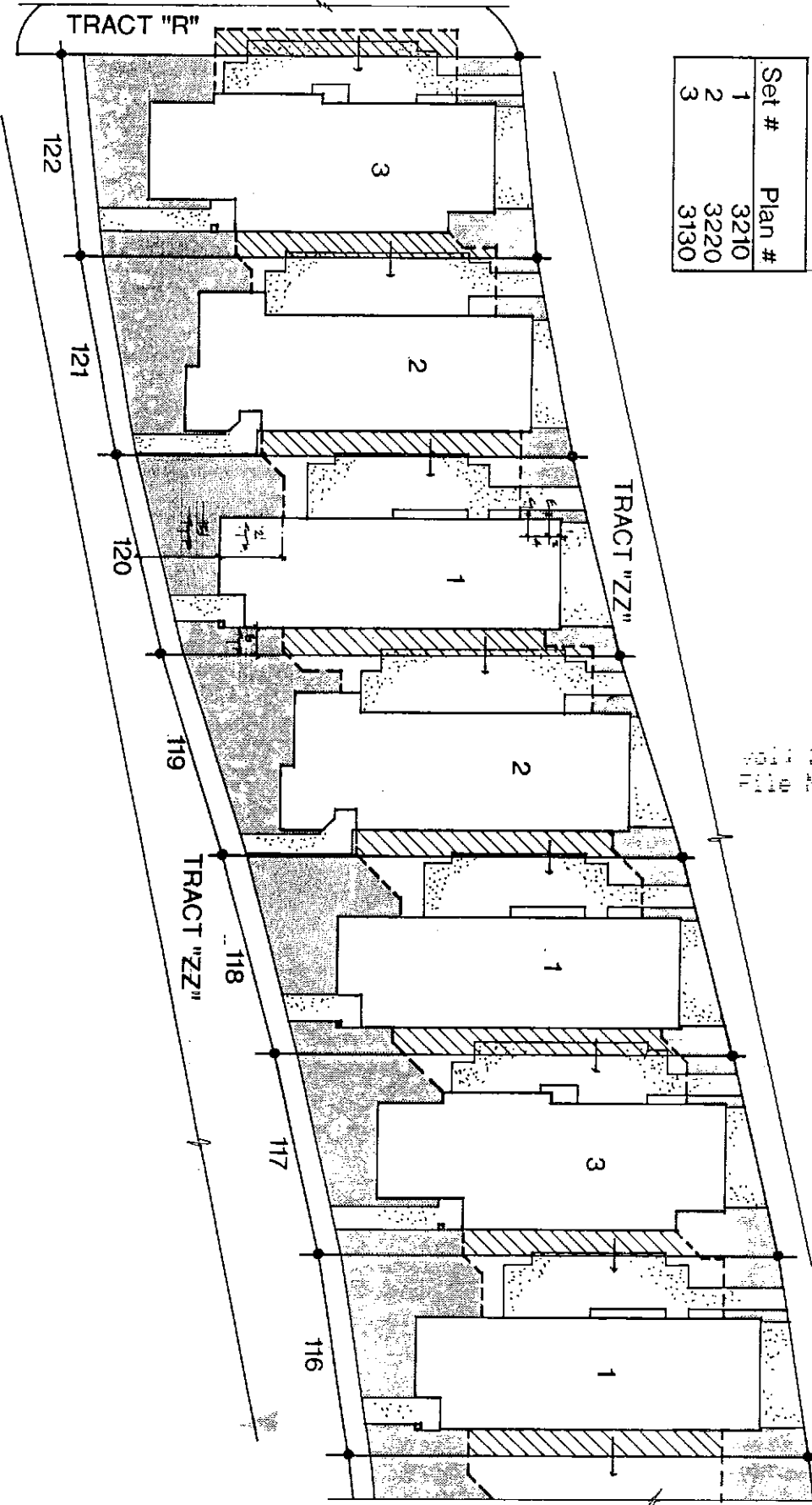
Site Plan Lots 116 - 122

Scale: 1" = 20'-0"

EXHIBIT A

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| Set # | Plan # |
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| 1 | 3210 |
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| LEGEND | |
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| | Property Line |
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*NOTE Typical Easement To Be 5 Feet Wide



RAINIER PARK P.R.D. - PHASE II

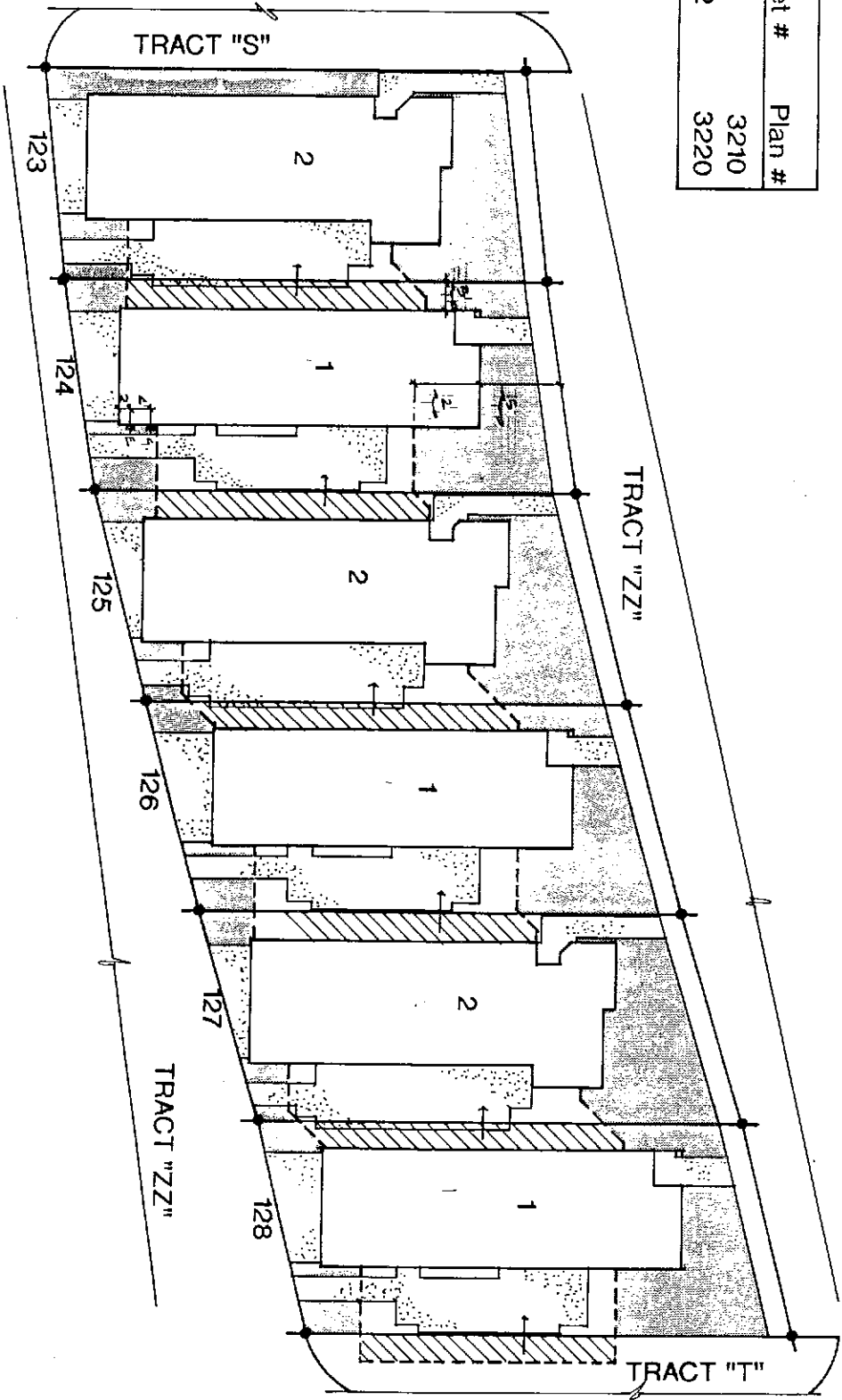
Site Plan Lots 123 - 128

Scale: 1" = 20'-0"

EXHIBIT A

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| Set # | Plan # |
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| 1 | 3210 |
| 2 | 3220 |



| LEGEND | |
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| | Property Line |
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*NOTE Typical Easement To Be 5 Feet Wide

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